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5249 California Ave SW, Seattle, WA



 PARCEL # 762570-0530,
5249 CALIFORNIA AVE SW

 PROPERTY LINE

PROJECT PROPOSAL

-  3 Story Townhouse Building
-  4 Story Live-Work Building
-  6 Townhouse Units
-  3 Live Work Units
-  4 Parking Stalls
-  9 Long Term & 2 Short Term Bicycle Parking

SITE CONTEXT - VIEW TO WEST



SUMMARY CONTEXT ANALYSIS | Zoning & Overlay



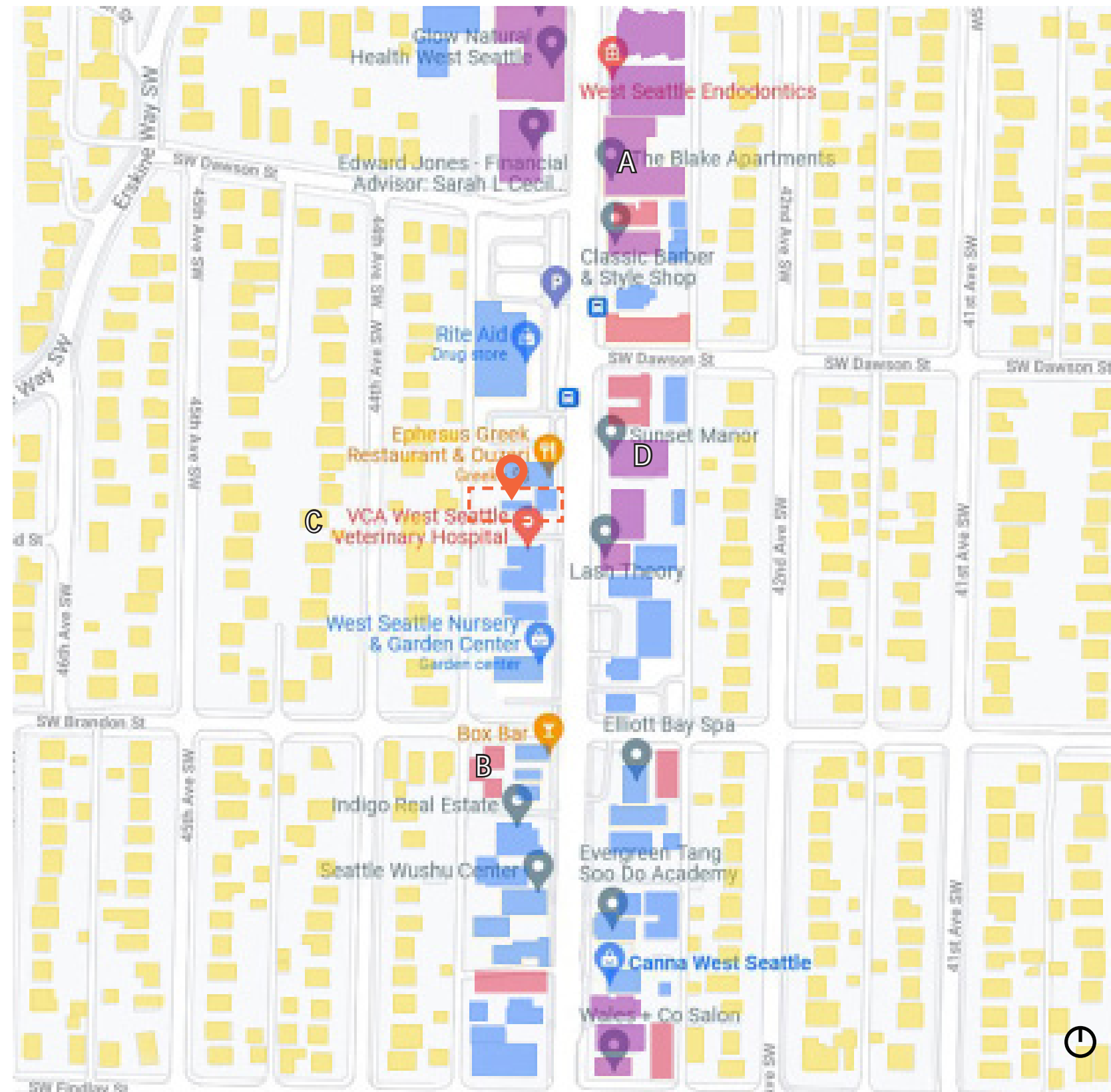
ZONING & OVERLAY DESIGNATION

The parcel is zoned NC2-40(M).

The site is bounded by NC2-40(M) to the north, east and south. SF5000 Zoning is across the alley to the west.

5249 PARCEL #	762570-0530
ZONE	NC2-40(M)
URBAN CENTER / VILLAGES	No
OVERLAY	None
DESIGN REVIEW EQUITY AREA	No
PEDESTRIAN AREA	No
SHORELINE ZONE	None
MHA FEE	Medium
FREQUENT TRANSIT	Yes
ECA	None
LOT SF	7,500 SF

EXISTING SITE CONDITIONS | Existing Uses & Structures



BUILDING TYPOLOGIES

The selected images indicate the diversity of building typology, scale and aesthetic present along California Ave SW. Also evident is the transition to single-family dwellings across the alley.

While numerous single and two-story commercial and residential buildings are adjacent, it is likely these older structures will be replaced with multi-story mixed-use or residential developments which utilize allowed height, density and floor area.

Even though there is significant diversity in building use, age and scale the majority are placed adjacent to the sidewalk with a strong street presence. This is consistent in all new structures and many older.

Again, building typology is very diverse, however, exterior materials on adjacent projects tend to be residential. These include bevel siding, cementitious panels, and masonry with newer structures also utilizing metal.

SURROUNDING BUILDINGS & LOCAL CHARACTER



A
Mixed-Use
8-story mixed use apartment building.



B
Multi-Family Homes
3-story townhome structure adjacent to single story commercial and residential.

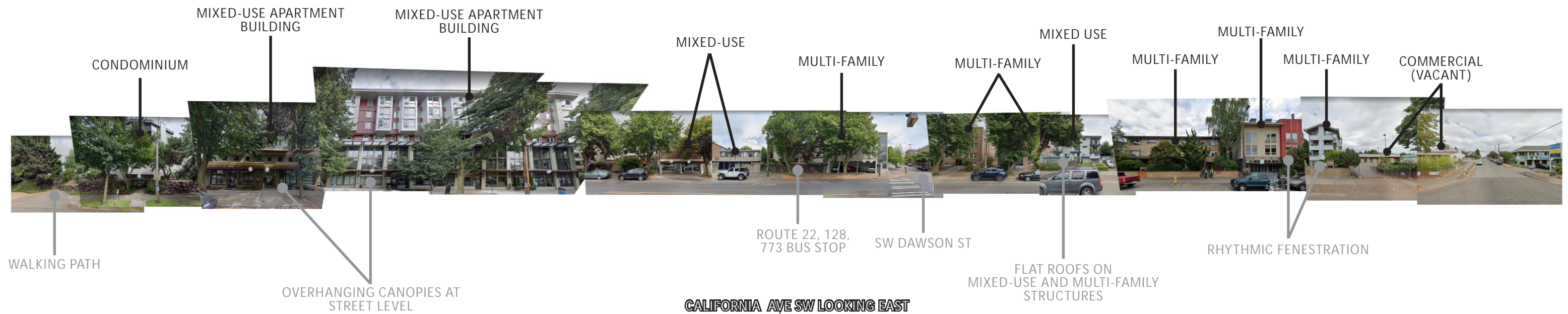


C
Single-Family Homes
Typical residential home in neighborhoods surrounding site.



D
Mixed-Use
3-story building composed of institutional at street and apartments above.

EXISTING SITE CONDITIONS | Streetscapes



ZONING DATA | Land Use Code

PERMITTED & PROHIBITED USES

Table A for 23.47A.004 -
J.1. Residential use in NC2 is permitted.

STREET LEVEL USES

Not applicable.

STREET LEVEL DEVELOPMENT STANDARDS

23.47A.008-
A.2.b. Blank segments of the street-facing facade between 2 feet and 8 feet above the sidewalk may not exceed 20 feet in width.
A.2.c. The total of all blank facade segments may not exceed 40 percent of the width of the facade of the structure along the street.
A.3. Street-level, street-facing facades shall be located within 10 feet of the street lot line, unless wider sidewalks, plazas, or other approved landscaped or open spaces are provided.
D.1. At least one of the street-level, street-facing facades containing a residential use shall have a visually prominent pedestrian entry; and
D.2. The floor of a dwelling unit located along the street-level, street-facing facade shall be at least 4 feet above or 4 feet below sidewalk grade or be set back at least 10 feet from the sidewalk.

FLOOR AREA

Table A for 23.47A.013 -
FAR limit in NC2-40(M) zone is 3.0.
3.0 X 7,500 SF = 22,500 SF of FAR allowed.
13,500 SF Gross Floor Area provided.

STRUCTURE HEIGHT

23.47A.012 -
NC2-40(M) zone height limit is 40 feet.

SETBACKS & SEPARATIONS

23.47A.014. -
B.3. Upper-level setback is required along the rear lot line that is across an alley from a lot in a single-family zone.
a. Fifteen feet for portions of structures above 13 feet in height to a maximum of 40 feet
B.4. One-half of the width of an abutting alley may be counted as part of the required setback.
B.5. No entrance, window, or other opening is permitted closer than 5 feet to an abutting residentially-zoned lot.

AMENITY AREA

23.47A.024 -
A. The required amount of amenity area is equal to 5 percent of the total gross floor area in residential use. Private amenity areas are provided for each unit.

LANDSCAPE STANDARDS

23.47A.016 -
A.2.a. Green Factor score of 0.3 or greater is required for any lot containing more than four new dwelling units.

PARKING ACCESS

23.47A.032 -
A.1.a. Access to parking shall be from the alley if the lot abuts an alley.

REQUIRED PARKING

Table B for 23.54.015 -
I.I. Multifamily residential uses must provide 1 space per unit. However, this site qualifies for a 50% parking reduction per 23.54.020.F.2.
0.5 X 9 units = 5 spaces required.
5 spaces are provided.
Table D for 23.54.015 -
D.2. For multi-family structures, 1 long-term bicycle parking per unit is required & 1 short-term bicycle parking per 20 units is required.
9 units require 9 long-term & 1 short-term spaces.
9 long-term & 2 short-term spaces are provided.

COMPOSITE SITE PLAN | Site Plan

SITE DATA

SEA VIEW PARK ADD BLOCK 5 LOT 10

LEGEND

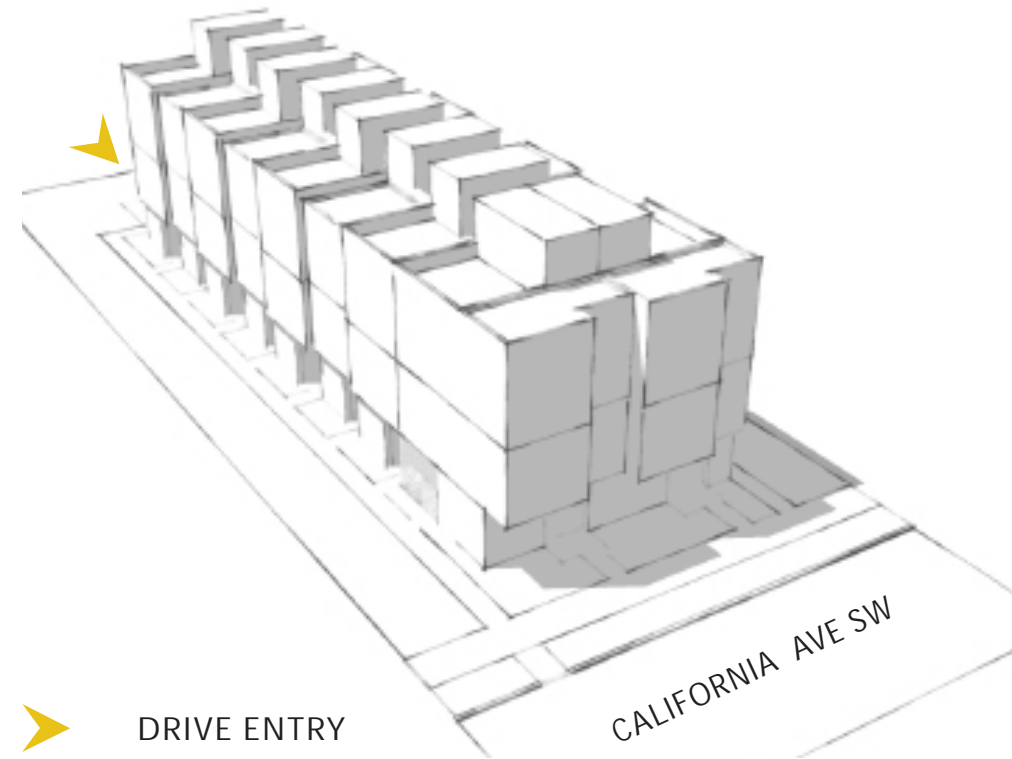
- VEHICLE PARKING
- GREENSPACE
- BICYCLE PARKING
- SOLID WASTE
- ADJACENT STRUCTURE
- PAVEMENT
- DECK
- ENTRY TO LIVE-WORK
- ENTRY TO RESIDENTIAL



EDG RESPONSE | Design Process Review

OPTION 1:

(PREFERRED, CODE COMPLIANT)



- 9 Townhomes
- 0 SF of Commercial Space
- 1 Structure
- 22,500 SF of FAR Allowed
- 13,500 SF of Gross Floor Area Proposed
- 5 Surface Vehicle Parking Spaces
- 9 Long-term & 2 Short-term Bike Parking Spaces

PROS:

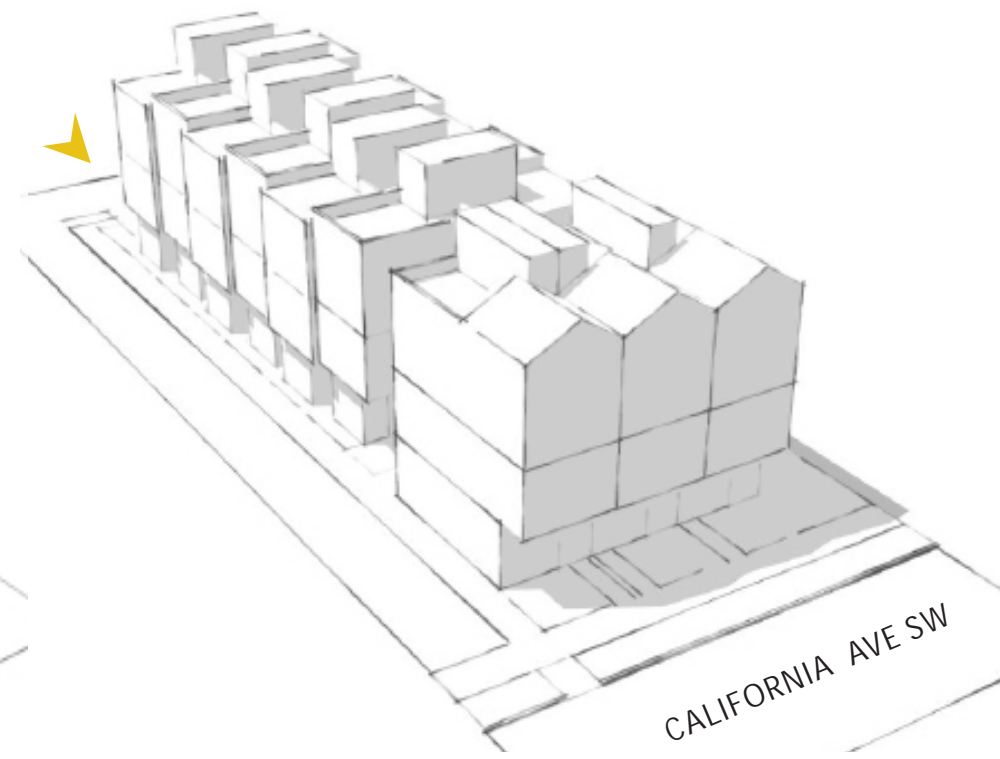
- Maximize natural light and ventilation into living spaces
- Strong street presence at California Avenue SW
- Maximize privacy for rooftop amenity spaces
- Pedestrian entries located along common path

CONS:

- Rear units blocked by units facing California Ave SW

OPTION 2:

(CODE COMPLIANT)



- 9 Townhomes
- 0 SF of Commercial Space
- 2 Structures
- 22,500 SF of FAR Allowed
- 13,000 SF of Gross Floor Area Proposed
- 5 Surface Vehicle Parking Spaces
- 9 Long-term & 2 Short-term Bike Parking Spaces

PROS:

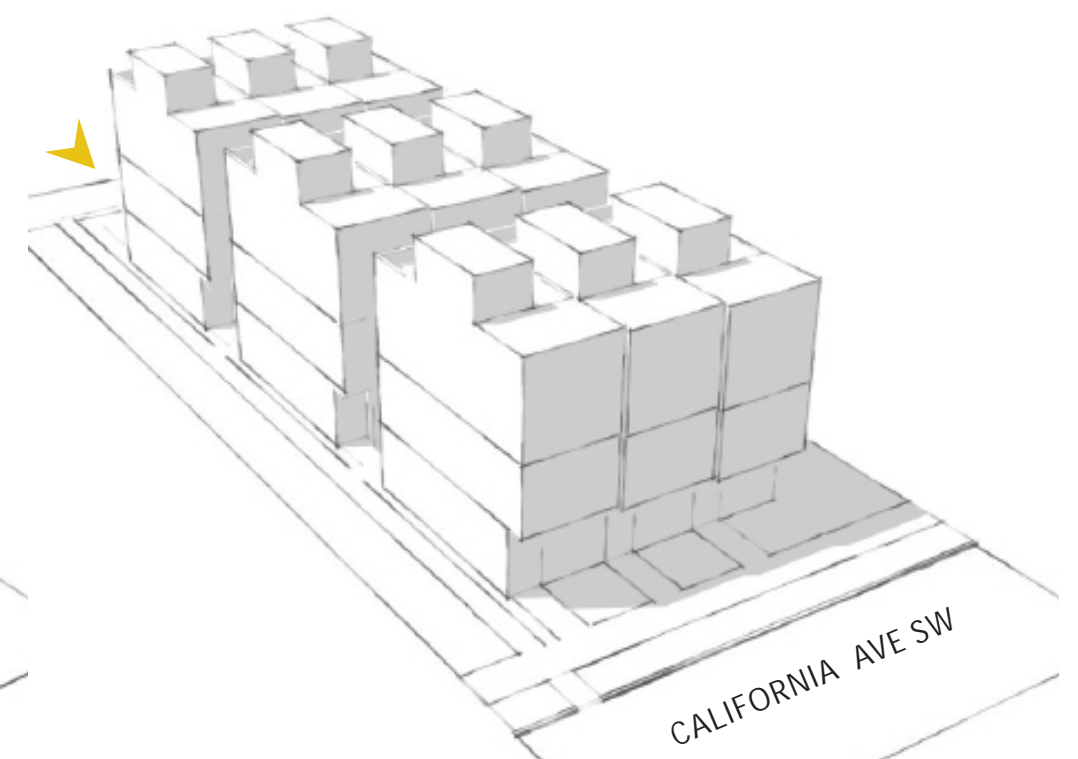
- Maximize natural light into living spaces
- Strong street presence at California Avenue SW
- Maximize privacy for rooftop amenity spaces

CONS:

- Rear units blocked by units facing California Ave SW
- Unit fenestration between buildings faces adjacent buildings
- Separate structures creates narrow "corridor" between buildings
- "Rear" structure faces "front" of adjacent structure

OPTION 3:

(CODE COMPLIANT)



- 9 Townhomes
- 0 SF of Commercial Space
- 3 Structures
- 22,500 SF of FAR Allowed
- 12,800 SF of Gross Floor Area Proposed
- 5 Surface Vehicle Parking Spaces
- 9 Long-term & 2 Short-term Bike Parking Spaces

PROS:

- Maximize views for rear units
- Strong street presence at California Avenue SW

CONS:

- Less privacy for rooftop amenity spaces
- "Middle" interior units receive little natural daylight
- Unit fenestration between buildings faces adjacent buildings
- "Rear" structure faces "front" of adjacent structure

EDG RESPONSE | Priorities & Board Recommendations

1. MASSING OPTIONS

a. Staff appreciates the applicant has proposed two massing options with a north/south orientation to prioritize providing natural light and ventilation to the townhouse units. (CS1-B)

Response: The recommended massing option – massing option 2 on pg. 11 – was developed to further take advantage of natural light and ventilation via extensive fenestration and operable windows on the north and south facades.

b. The site is somewhat exposed given its lower scale surroundings and frontage along California Avenue SW. Therefore, in addition to the following guidance, staff recommends the applicant proceed in design development with massing option 2, which breaks the project up into two buildings. Breaking up the buildings reduces the bulk of the structure and provides a better relationship to the surrounding scale and context. Additionally, massing option 2 minimizes solid waste impacts to residents and visitors while making a stronger connection to the street by placing more units along street. (CS2-C-2, CS2-D-4, DC1-C-4, DC2-A-2)

Response: The design team moved forward with massing option 2.

c. Staff supports the internalized stair and penthouses in massing option 2 to push bulk and mass away from California Avenue SW as well as the buildings' edges. (DC2-A-2)

Response: Penthouses for the west structure remain internalized. The east structure was modified to four stories without a penthouse. The fourth story is set back from California Ave SW to push bulk away from the street.

2. CHANGE IN GRADE

a. The site slopes downward roughly ten feet to the west toward the alley. It is not clear from the applicant's ADR EDG packet if the units will be stepping with grade and Staff is concerned with their relationship to the site topography. Clearly demonstrate the buildings' relationship to grade in the Master Use Permit plans and step the units as necessary to accommodate changes in elevation. (CS1-C-1)

Response: The westernmost three townhouse units are stepped down slightly from the townhouse units to the east and live-work units. The parking lot and solid waste storage adjacent to the alley are approximately level with the alley – several feet below the structures. This configuration addresses the adjacent site context because the lots to the north and south are fairly flat, and then drop off steeply to the alley at the west end of the site. This prevents the western units from dropping too far below the adjacent grades. See elevation below.

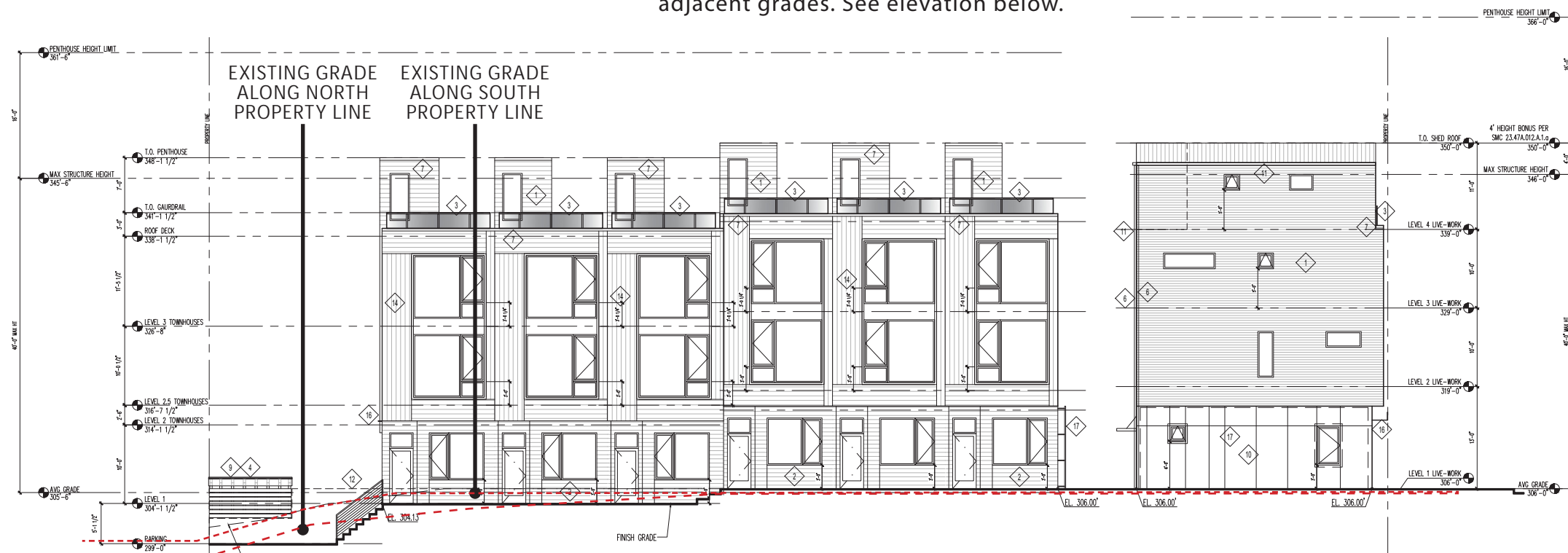
3. CIRCULATION & WAYFINDING

a. Staff recommends prioritizing several wayfinding strategies and design features to provide clear guidance for residents, guests, and deliveries particularly from California Avenue SW and the alley to rear and street facing units. (PL2-D-1)

Response: Wayfinding to residential units is made simple by providing just one main sidewalk to all numbered unit entries at the south of the structure. The sidewalk does extend partially to the north to accommodate the separate entries to the residential portions of the live-work units. Pathway lights illuminate the way to all residential entries. Entries to workspace portions of the live-work units will include commercial signage on the façade along California Ave SW and are clearly visible from the sidewalk.

b. Staff questions whether two pedestrian paths along the north and south property lines are necessary. Providing one main entry path to the front doors and private rear yards gives more usable space to each of the units and clarifies wayfinding to units. (PL2-D-1, DC3-A, DC3-B)

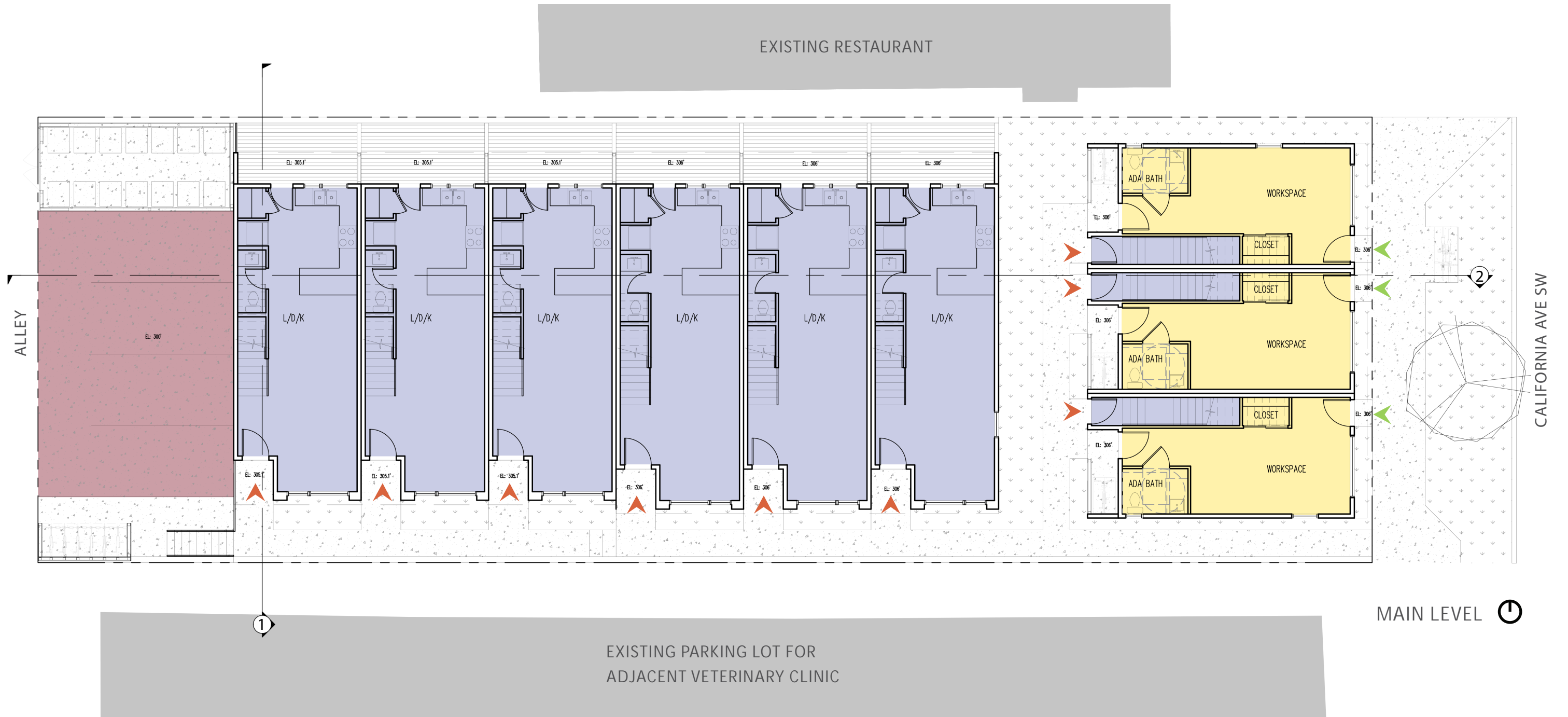
Response: Design team edited the site plan to reflect the above recommendation.



FLOOR PLANS | Main Level

LEGEND

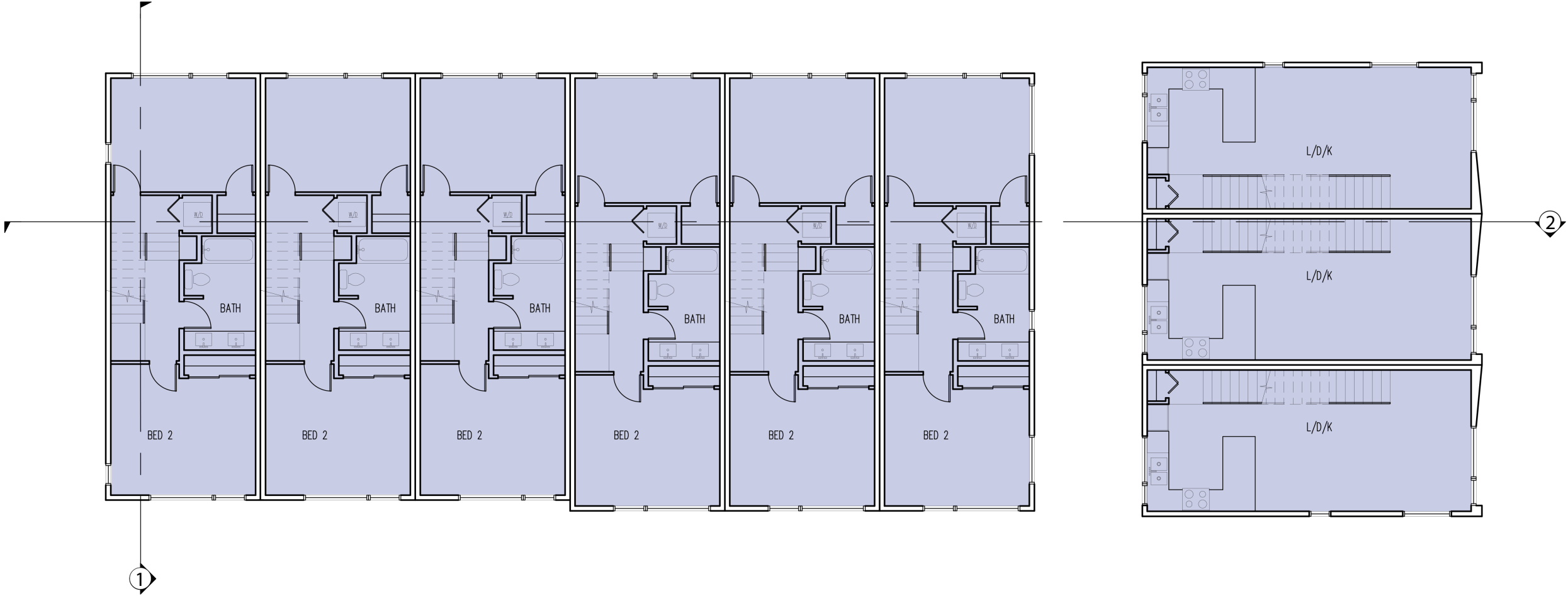
- RESIDENTIAL FLOOR AREA
- VEHICULAR ACCESS (FROM ALLEY)
- ADJACENT STRUCTURE
- ENTRY TO LIVE-WORK
- ENTRY TO RESIDENTIAL



MAIN LEVEL

FLOOR PLANS | Level 2

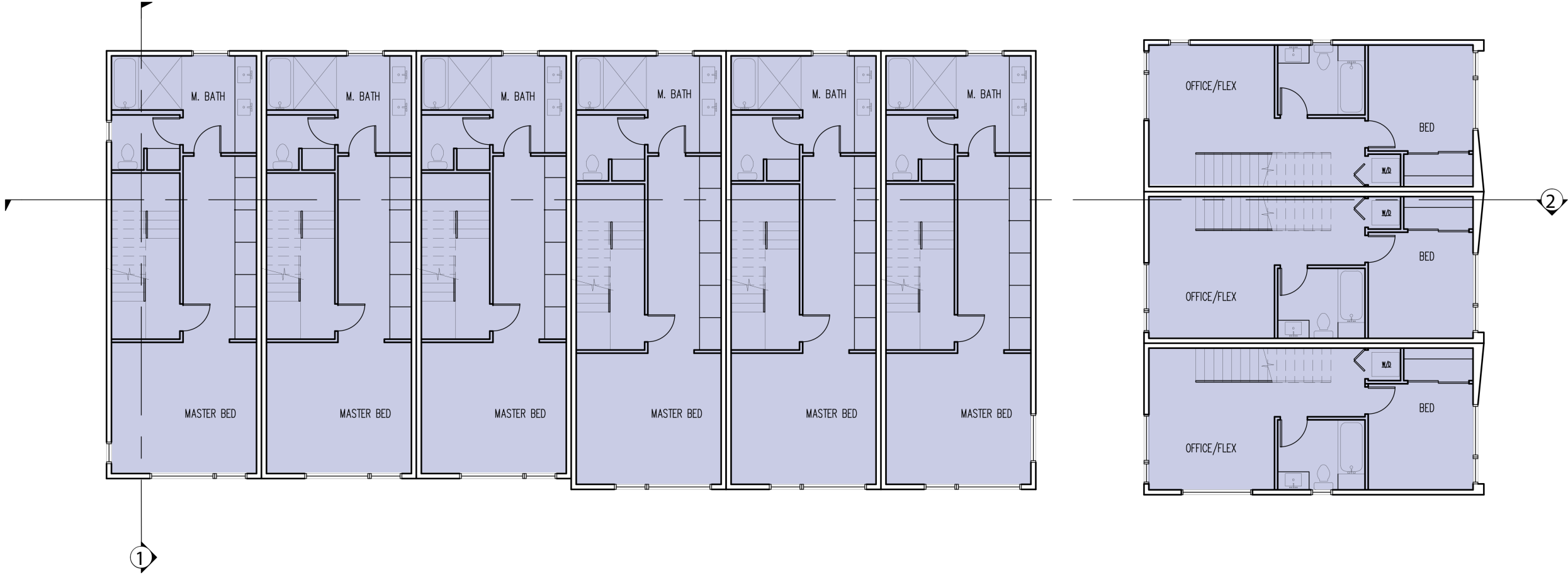
LEGEND
RESIDENTIAL FLOOR AREA



LEVEL 2

FLOOR PLANS | Level 3

LEGEND
RESIDENTIAL FLOOR AREA

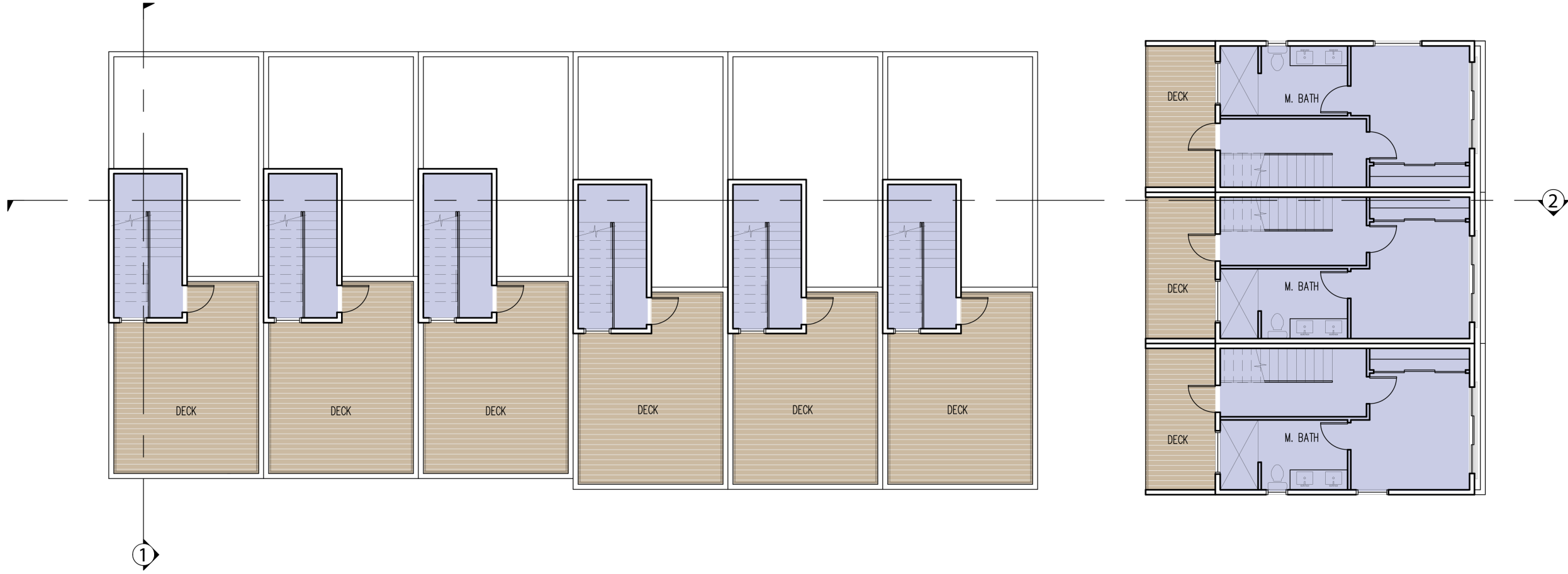


LEVEL 3

FLOOR PLANS | Level 3 & Penthouses

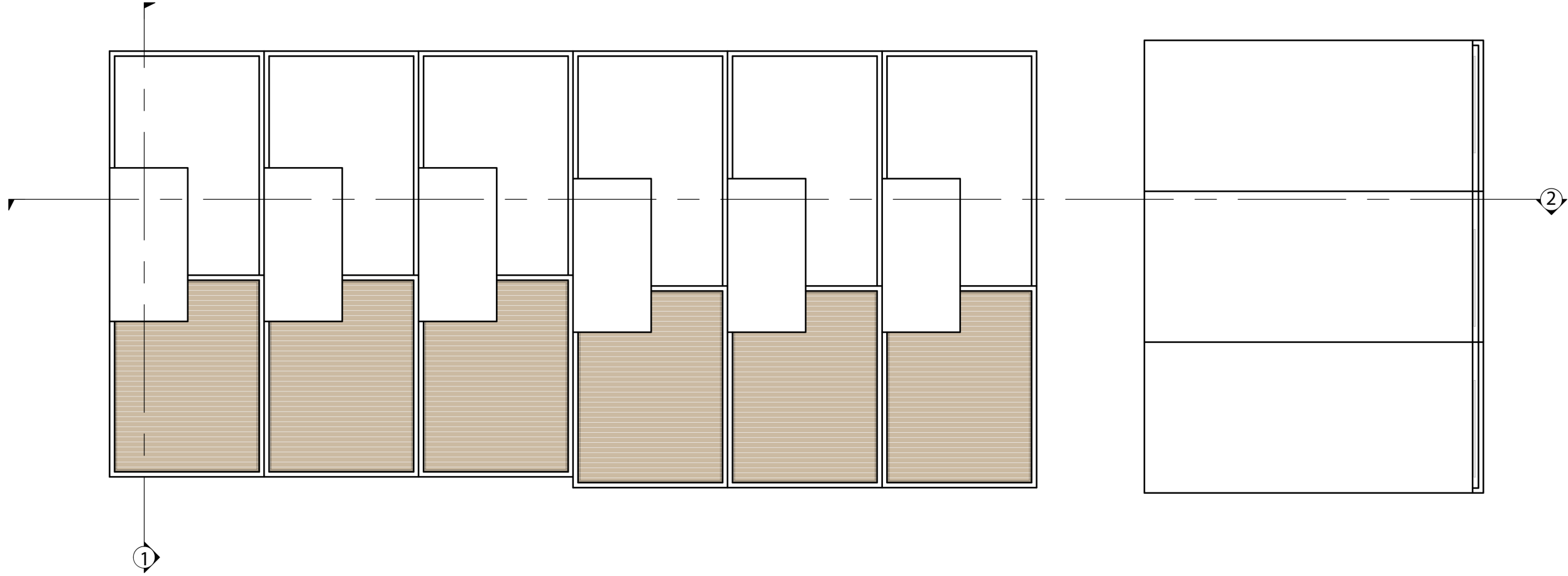
LEGEND

- RESIDENTIAL FLOOR AREA
- DECK



LEVEL 3 & PENTHOUSES











LEGEND
■ DECK




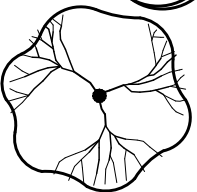
ROOF PLAN ⌚

COMPOSITE LANDSCAPE PLAN | Landscape Plan


SHRUBS

-  *Brunnera macrophylla* 'Silver Heart' / Siberian Bugloss
-  *Calluna vulgaris* 'Spring Cream' / Spring Cream Heather
-  *Carex oshimensis* 'Everillo' / Everillo Japanese Sedge
-  *Choisya ternata* 'Sundance' / Sundance Mexican Mock Orange
-  *Evonymus japonicus* 'Greenspire' / Greenspire Upright Evonymus
-  *Liriope muscari* 'Big Blue' / Big Blue Lilyturf
-  *Pieris japonica* 'Brouwer's Beauty' / Lily of the Valley Bush
-  *Polystichum munitum* / Western Sword Fern
-  *Prunus laurocerasus* 'Mount Vernon' / Mount Vernon Laurel
-  *Sarcococca ruscifolia* / Fragrant Sarcococca


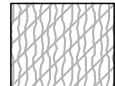

TREES

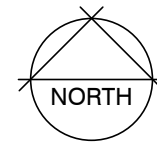
-  *Acer circinatum* / Vine Maple
-  *Cercis canadensis* / Eastern Redbud
Street Tree - Single leader

VINES

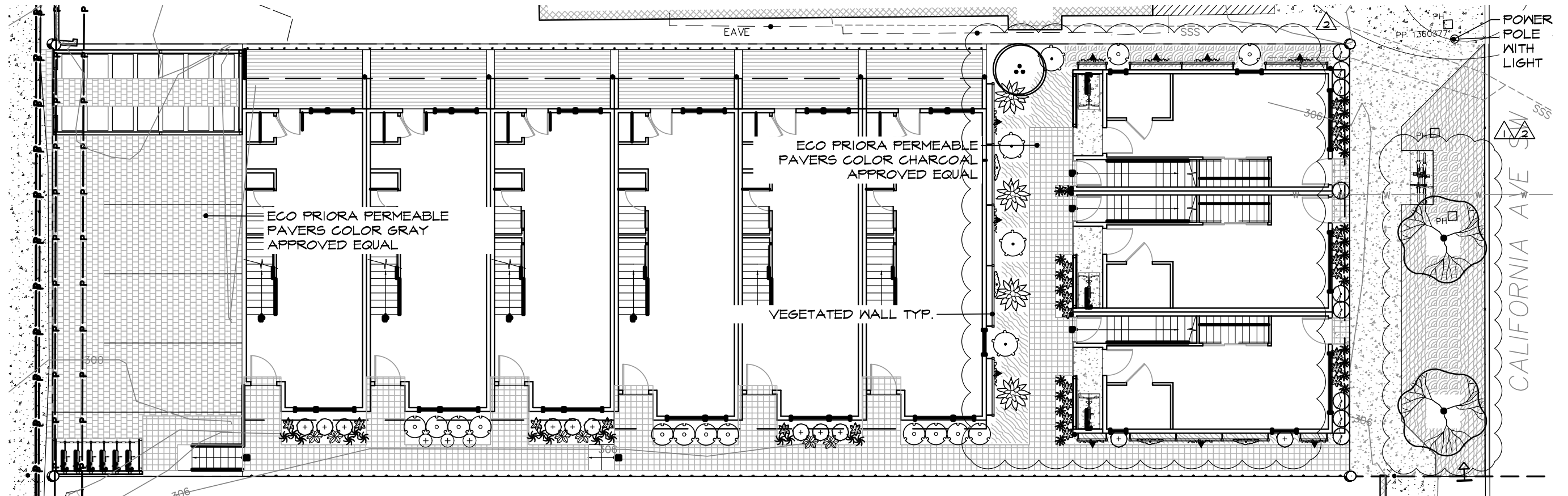
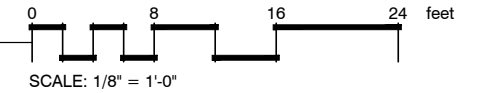
-  *Akebia quinata* / Five Leaf Akebia
-  *Clematis armandii* 'Snowdrift' / Evergreen Clematis

GROUND COVER

-  *Pachysandra terminalis* / Japanese Spurge
-  *Rubus calycinoides* 'Emerald Carpet' / Creeping Raspberry
-  *Vinca minor* 'Bowles Blue' / Dwarf Periwinkle



LANDSCAPE PLAN



COMPOSITE LANDSCAPE PLAN | Plant Images



Siberian Bugloss



Spring Cream Heather



Everillo Japanese Sedge



Sundance Mexican Mock Orange



Greenspire Upright Euonymus



Big Blue Lillyturf



Lily of the Valley Bush



Western Sword Fern



Mount Vernon Laurel



Fragrant Sarcococca



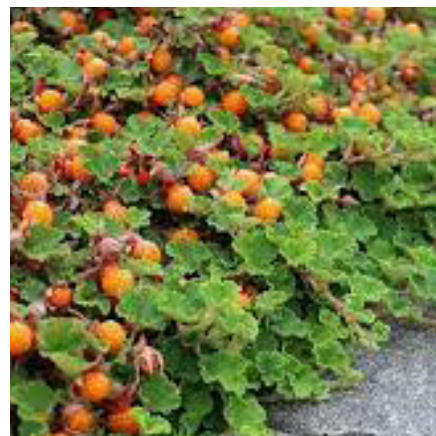
Vine Maple



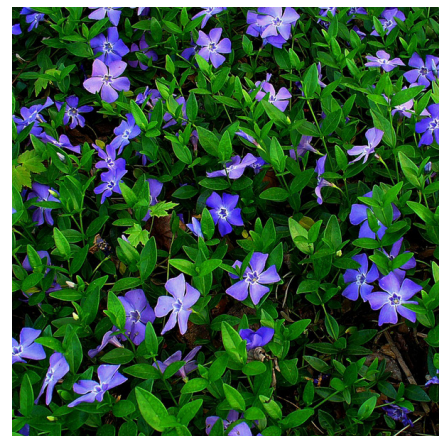
Eastern Redbud



Japanese Spurge



Creeping Raspberry



Dwarf Periwinkle



Five Leaf Akebia



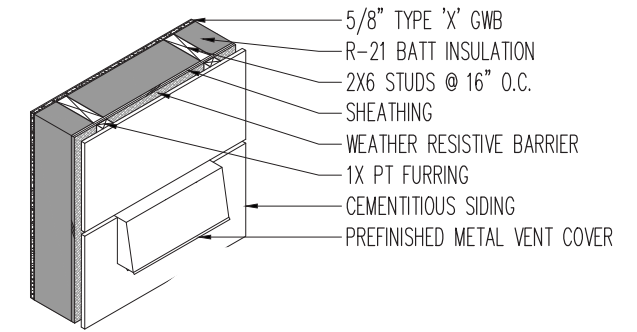
Evergreen Clematis

Exterior Elevations |

MATERIALS

- 1 CEMENTITIOUS PANEL SIDING – RIBBED
- 2 WOOD SHIPLAP SIDING, 1X4"
- 3 36" GAURDRAIL
- 4 WOOD FENCE
- 5 SCUPPER
- 6 DOWNSPOUT
- 7 4" METAL FLASHING
- 8 SOLID WASTE ENCLOSURE
- 9 BIKE STORAGE
- 10 CEMENTITIOUS PANEL SIDING – SMOOTH
- 11 GUTTER
- 12 RETAINING WALL AT PROPERTY LINE
- 13 WOOD SCREEN
- 14 CEMENTITIOUS PLANK SIDING – V-GROOVE
- 15 6" METAL FIN
- 16 METAL AWNING AND SIGNAGE – SEE A7.01 FOR ADD'L INFO
- 17 METAL LANDSCAPE TRELLIS – PARTIALLY REMOVED FOR CLARITY

VENT DESIGN



NORTH ELEVATION

Exterior Elevations |

MATERIALS

- | | | |
|--------------------------------------|---|--|
| 1 CEMENTITIOUS PANEL SIDING – RIBBED | 8 SOLID WASTE ENCLOSURE | 15 6" METAL FIN |
| 2 WOOD SHIPLAP SIDING, 1X4" | 9 BIKE STORAGE | 16 METAL AWNING AND SIGNAGE – SEE A7.01 FOR ADD'L INFO |
| 3 36" GAURDRAIL | 10 CEMENTITIOUS PANEL SIDING – SMOOTH | 17 METAL LANDSCAPE TRELLIS – PARTIALLY REMOVED FOR CLARITY |
| 4 WOOD FENCE | 11 GUTTER | |
| 5 SCUPPER | 12 RETAINING WALL AT PROPERTY LINE | |
| 6 DOWNSPOUT | 13 WOOD SCREEN | |
| 7 4" METAL FLASHING | 14 CEMENTITIOUS PLANK SIDING – V-GROOVE | |



EAST ELEVATION - LIVE/WORK



WEST ELEVATION - LIVE/WORK

Exterior Elevations |

MATERIALS

- | | | | | | |
|---|------------------------------------|----|--------------------------------------|----|--|
| 1 | CEMENTITIOUS PANEL SIDING – RIBBED | 8 | SOLID WASTE ENCLOSURE | 15 | 6" METAL FIN |
| 2 | WOOD SHIPLAP SIDING, 1X4" | 9 | BIKE STORAGE | 16 | METAL AWNING AND SIGNAGE –
SEE A7.01 FOR ADD'L INFO |
| 3 | 36" GAURDRAIL | 10 | CEMENTITIOUS PANEL SIDING – SMOOTH | 17 | METAL LANDSCAPE TRELLIS –
PARTIALLY REMOVED FOR CLARITY |
| 4 | WOOD FENCE | 11 | GUTTER | | |
| 5 | SCUPPER | 12 | RETAINING WALL AT PROPERTY LINE | | |
| 6 | DOWNSPOUT | 13 | WOOD SCREEN | | |
| 7 | 4" METAL FLASHING | 14 | CEMENTITIOUS PLANK SIDING – V-GROOVE | | |



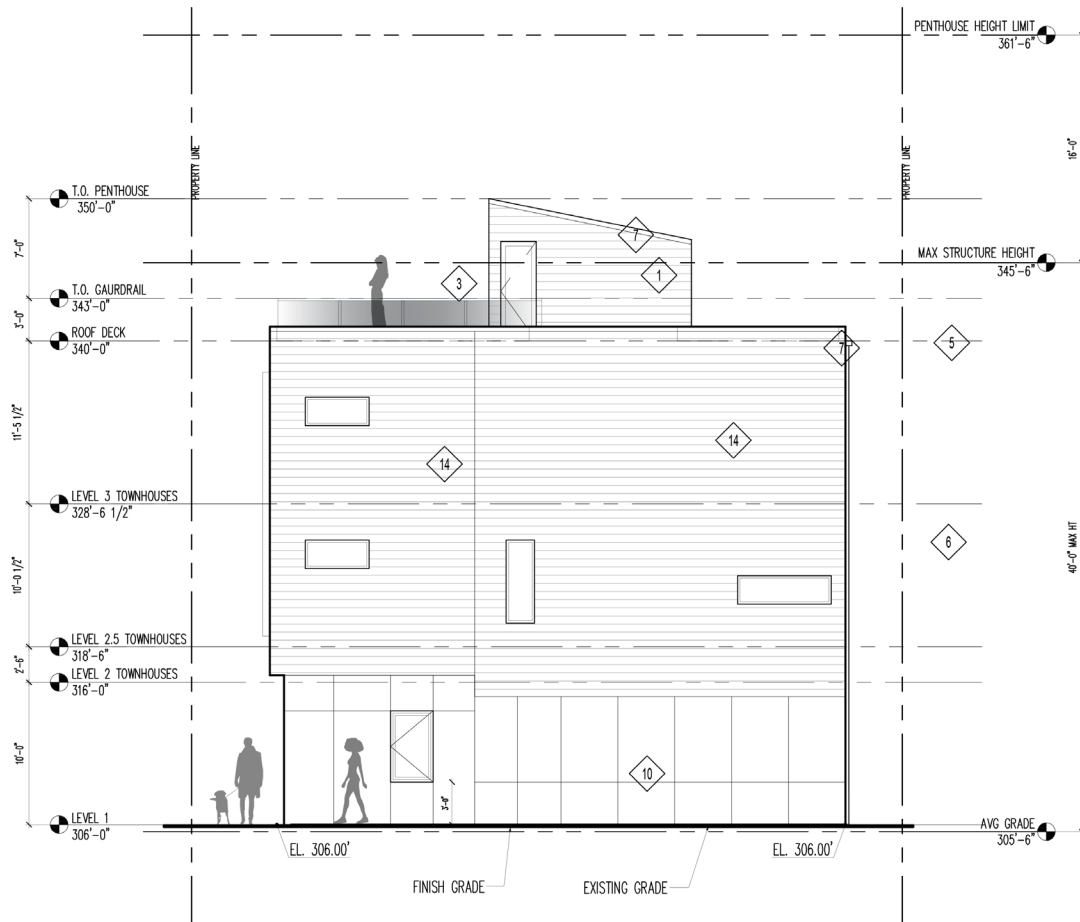
SOUTH ELEVATION

Exterior Elevations |

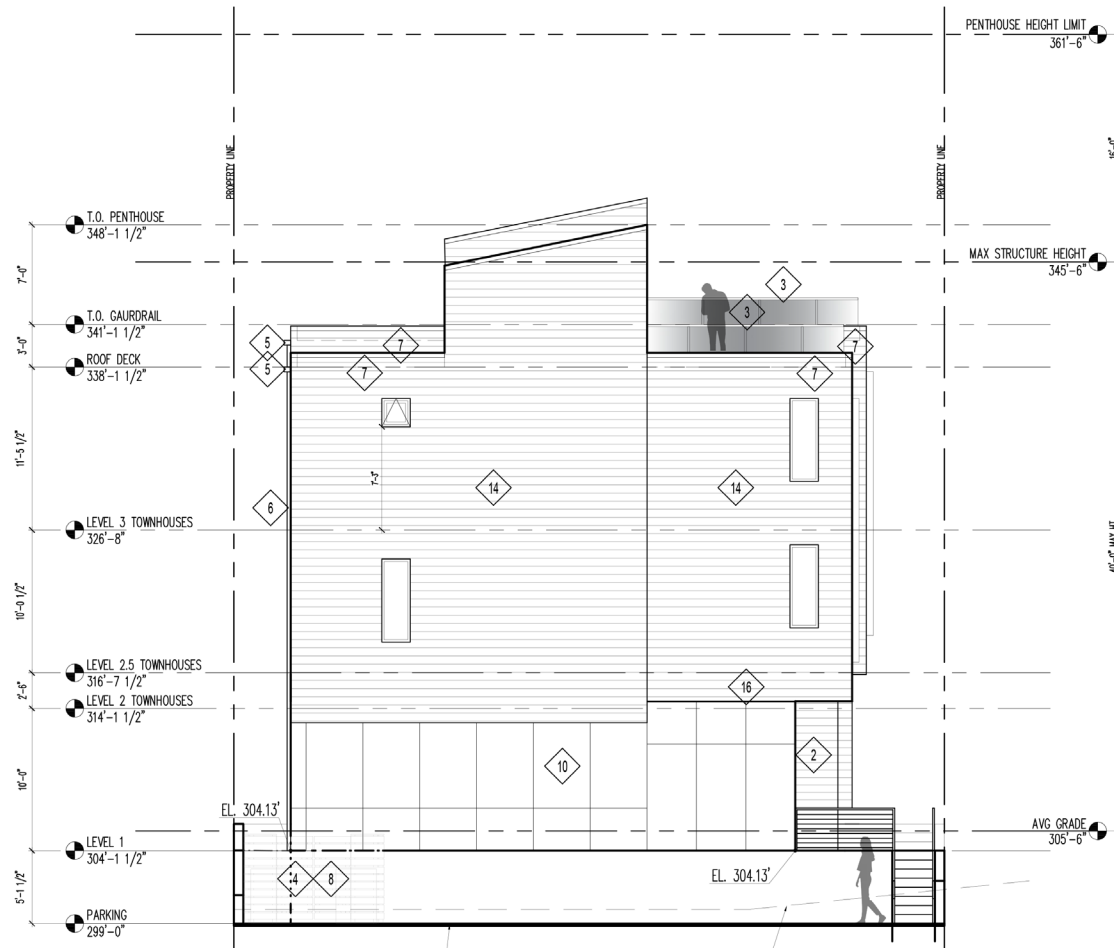
MATERIALS

- | | |
|--------------------------------------|---|
| 1 CEMENTITIOUS PANEL SIDING – RIBBED | 8 SOLID WASTE ENCLOSURE |
| 2 WOOD SHIPLAP SIDING, 1X4" | 9 BIKE STORAGE |
| 3 36" GAURDRAIL | 10 CEMENTITIOUS PANEL SIDING – SMOOTH |
| 4 WOOD FENCE | 11 GUTTER |
| 5 SCUPPER | 12 RETAINING WALL AT PROPERTY LINE |
| 6 DOWNSPOUT | 13 WOOD SCREEN |
| 7 4" METAL FLASHING | 14 CEMENTITIOUS PLANK SIDING – V-GROOVE |

- | |
|---|
| 15 6" METAL FIN |
| 16 METAL AWNING AND SIGNAGE –
SEE A7.01 FOR ADD'L INFO |
| 17 METAL LANDSCAPE TRELLIS –
PARTIALLY REMOVED FOR CLARITY |



EAST ELEVATION - TOWNHOUSE UNITS



WEST ELEVATION - TOWNHOUSE UNITS

Material & Color Palette | Color Elevations

MATERIALS

- (C1) EXPOSED CONCRETE
- (CN1) CANOPY – BLACK METAL
- (CN2) CANOPY W/ SIGNAGE – BLACK METAL
- (D1) DOOR – BLACK
- (F1) SOFFIT PANEL – HARDIE LAST EMBERS
- (G1) GAURDRAIL – CLEAR GLASS WITH METAL TOP RAIL
- (LT1) LANDSCAPE TRELLIS – METAL
- (M1) PREFINISHED METAL COPING – ALUMINUM, MATCH ADJACENT COLOR
- (MF1) PREFINISHED METAL FIN – BLACK
- (S1) CEMENTITIOUS PANEL SIDING – EQUITONE PICTURA 16MM, PA944 ESPRESSO
- (S2) CEMENTITIOUS PANEL SIDING – CERACLAD 8-REVEAL 16MM, HFH9131U ARCTIC WHITE
- (S3) CEMENTITIOUS PANEL SIDING – CERACLAD 8-REVEAL 16MM, HFH9134U SILVER GRAY
- (S4) CEMENTITIOUS PANEL SIDING – EQUITONE PICTURA 16MM, PW141 PORCELAIN
- (S5) CEMENTITIOUS PANEL SIDING – EQUITONE PICTURA 16MM, PG243 MOONSTONE
- (S6) CEMENTITIOUS PLANK SIDING – HARDIE ARTISAN V-GROOVE, SW 9541 WHITE SNOW
- (S7) CEMENTITIOUS PLANK SIDING – HARDIE ARTISAN V-GROOVE, SW 7663 MONORAIL SILVER
- (SL1) 1X4 WOOD SHIPLAP SIDING – RODDA RURAL MANOR, SEMI-TRANSPARENT
- (SN1) 1X4 WOOD SCREEN – RODDA RURAL MANOR, SEMI-TRANSPARENT
- (W1) WINDOW – WHITE
- (W2) WINDOW – BLACK



NORTH ELEVATION

Material & Color Palette | Color Elevations

MATERIALS

- (C1) EXPOSED CONCRETE
- (CN1) CANOPY – BLACK METAL
- (CN2) CANOPY W/ SIGNAGE – BLACK METAL
- (D1) DOOR – BLACK
- (F1) SOFFIT PANEL – HARDIE LAST EMBERS
- (G1) GAURDRAIL – CLEAR GLASS WITH METAL TOP RAIL
- (LT1) LANDSCAPE TRELLIS – METAL
- (M1) PREFINISHED METAL COPING – ALUMINUM, MATCH ADJACENT COLOR
- (MF1) PREFINISHED METAL FIN – BLACK
- (S1) CEMENTITIOUS PANEL SIDING – EQUITONE PICTURA 16MM, PA944 ESPRESSO
- (S2) CEMENTITIOUS PANEL SIDING – CERACLAD 8-REVEAL 16MM, HFH9131U ARCTIC WHITE
- (S3) CEMENTITIOUS PANEL SIDING – CERACLAD 8-REVEAL 16MM, HFH9134U SILVER GRAY
- (S4) CEMENTITIOUS PANEL SIDING – EQUITONE PICTURA 16MM, PW141 PORCELAIN
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- (SL1) 1X4 WOOD SHIPLAP SIDING – RODDA RURAL MANOR, SEMI-TRANSPARENT
- (SN1) 1X4 WOOD SCREEN – RODDA RURAL MANOR, SEMI-TRANSPARENT
- (W1) WINDOW – WHITE
- (W2) WINDOW – BLACK



EAST ELEVATION - LIVE/WORK



WEST ELEVATION - LIVE/WORK

Material & Color Palette | Color Elevations

MATERIALS

- (C1) EXPOSED CONCRETE
- (CN1) CANOPY – BLACK METAL
- (CN2) CANOPY W/ SIGNAGE – BLACK METAL
- (D1) DOOR – BLACK
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- (LT1) LANDSCAPE TRELLIS – METAL
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- (S2) CEMENTITIOUS PANEL SIDING – CERACLAD 8-REVEAL 16MM, HFH9131U ARCTIC WHITE
- (S3) CEMENTITIOUS PANEL SIDING – CERACLAD 8-REVEAL 16MM, HFH9134U SILVER GRAY
- (S4) CEMENTITIOUS PANEL SIDING – EQUITONE PICTURA 16MM, PW141 PORCELAIN
- (S5) CEMENTITIOUS PANEL SIDING – EQUITONE PICTURA 16MM, PG243 MOONSTONE
- (S6) CEMENTITIOUS PLANK SIDING – HARDIE ARTISAN V-GROOVE, SW 9541 WHITE SNOW
- (S7) CEMENTITIOUS PLANK SIDING – HARDIE ARTISAN V-GROOVE, SW 7663 MONORAIL SILVER
- (SL1) 1X4 WOOD SHIPLAP SIDING – RODDA RURAL MANOR, SEMI-TRANSPARENT
- (SN1) 1X4 WOOD SCREEN – RODDA RURAL MANOR, SEMI-TRANSPARENT
- (W1) WINDOW – WHITE
- (W2) WINDOW – BLACK



SOUTH ELEVATION

Material & Color Palette | Color Elevations

MATERIALS

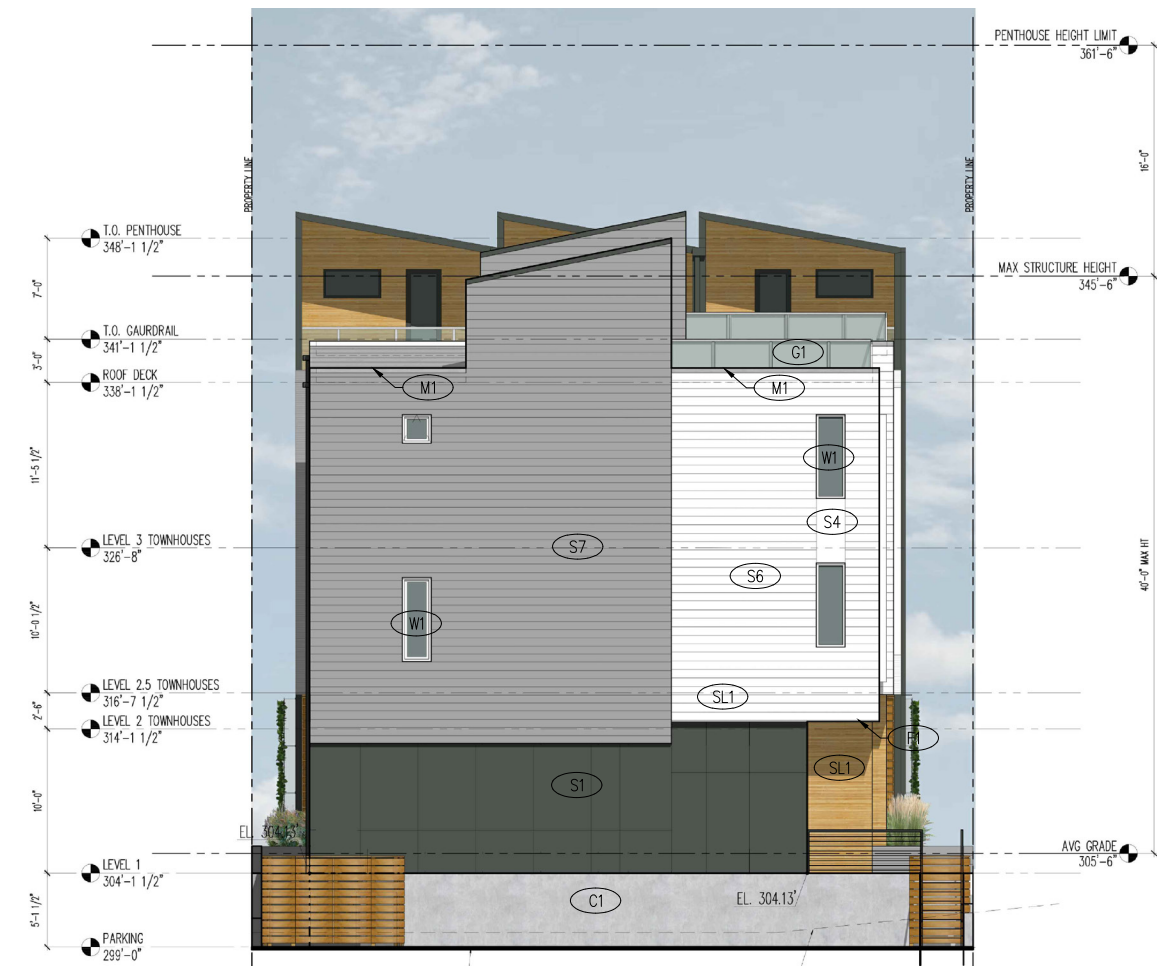
- (C1) EXPOSED CONCRETE
- (CN1) CANOPY - BLACK METAL
- (CN2) CANOPY W/ SIGNAGE - BLACK METAL
- (D1) DOOR - BLACK
- (F1) SOFFIT PANEL - HARDIE LAST EMBERS
- (G1) GAURDRAIL - CLEAR GLASS WITH METAL TOP RAIL
- (LT1) LANDSCAPE TRELLIS - METAL

- (M1) PREFINISHED METAL COPING - ALUMINUM, MATCH ADJACENT COLOR
- (MF1) PREFINISHED METAL FIN - BLACK
- (S1) CEMENTITIOUS PANEL SIDING - EQUITONE PICTURA 16MM, PA944 ESPRESSO
- (S2) CEMENTITIOUS PANEL SIDING - CERACLAD 8-REVEAL 16MM, HFH9131U ARCTIC WHITE
- (S3) CEMENTITIOUS PANEL SIDING - CERACLAD 8-REVEAL 16MM, HFH9134U SILVER GRAY
- (S4) CEMENTITIOUS PANEL SIDING - EQUITONE PICTURA 16MM, PW141 PORCELAIN
- (S5) CEMENTITIOUS PANEL SIDING - EQUITONE PICTURA 16MM, PG243 MOONSTONE

- (S6) CEMENTITIOUS PLANK SIDING - HARDIE ARTISAN V-GROOVE, SW 9541 WHITE SNOW
- (S7) CEMENTITIOUS PLANK SIDING - HARDIE ARTISAN V-GROOVE, SW 7663 MONORAIL SILVER
- (SL1) 1X4 WOOD SHIPLAP SIDING - RODDA RURAL MANOR, SEMI-TRANSPARENT
- (SN1) 1X4 WOOD SCREEN - RODDA RURAL MANOR, SEMI-TRANSPARENT
- (W1) WINDOW - WHITE
- (W2) WINDOW - BLACK



EAST ELEVATION - TOWNHOUSE UNITS



WEST ELEVATION - TOWNHOUSE UNITS

Material & Color Palette | Material Board



- (CN1)** CANOPY - BLACK METAL
- (CN2)** CANOPY W/ SIGNAGE - BLACK METAL
- (F1)** SOFFIT PANEL - HARDIE LAST EMBERS
- (MF1)** PREFINISHED METAL FIN - BLACK
- (S2)** CEMENTITIOUS PANEL SIDING - CERACLAD 8-REVEAL 16MM, HFH9131U ARCTIC WHITE
- (S3)** CEMENTITIOUS PANEL SIDING - CERACLAD 8-REVEAL 16MM, HFH9134U SILVER GRAY
- (S4)** CEMENTITIOUS PANEL SIDING - EQUITONE PICTURA 16MM, PW141 PORCELAIN
- (S5)** CEMENTITIOUS PANEL SIDING - EQUITONE PICTURA 16MM, PG243 MOONSTONE
- (S6)** CEMENTITIOUS PLANK SIDING - HARDIE ARTISAN V-GROOVE, SW 9541 WHITE SNOW
- (S7)** CEMENTITIOUS PLANK SIDING - HARDIE ARTISAN V-GROOVE, SW 7663 MONORAIL SILVER
- (SL1)** 1X4 WOOD SHIPLAP SIDING - RODDA RURAL MANOR, SEMI-TRANSPARENT
- (SN1)** 1X4 WOOD SCREEN - RODDA RURAL MANOR, SEMI-TRANSPARENT



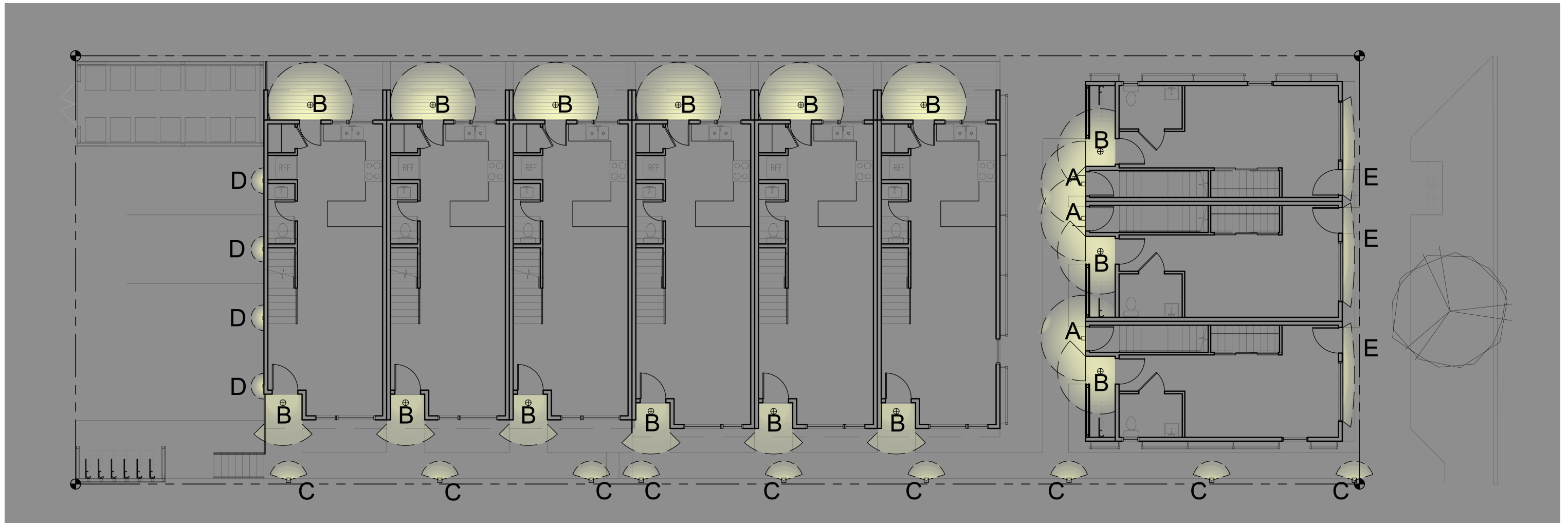
Renderings | North Facade from California Ave SW








Exterior Lighting Plan | Level 1



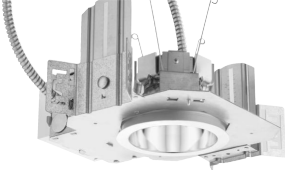
LEVEL 1 LIGHTING PLAN 

LIGHT LEGEND


- A**




Modern Forms Bloc
LED Wall Sconce
Black
16.5 Watts
- B**




Lithonia Lighting LDN4
Recessed Downlight
- C**



Radia Pathway Bollard
Slate
9 Watts
- D**



LumenArt - AWL.68
LED Outdoor Wall Sconce
Black
17 Watts
- E**



5m LED Strip Light
White
3.6/ft Watts


Exterior Lighting Plan | Level 4 & Penthouses



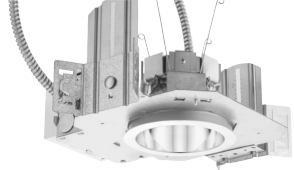
LEVEL 4 & PENTHOUSES 

LIGHT LEGEND


- A**




Modern Forms Bloc
LED Wall Sconce
Black
16.5 Watts
- B**




Lithonia Lighting LDN4
Recessed Downlight
- C**



Radia Pathway Bollard
Slate
9 Watts
- D**

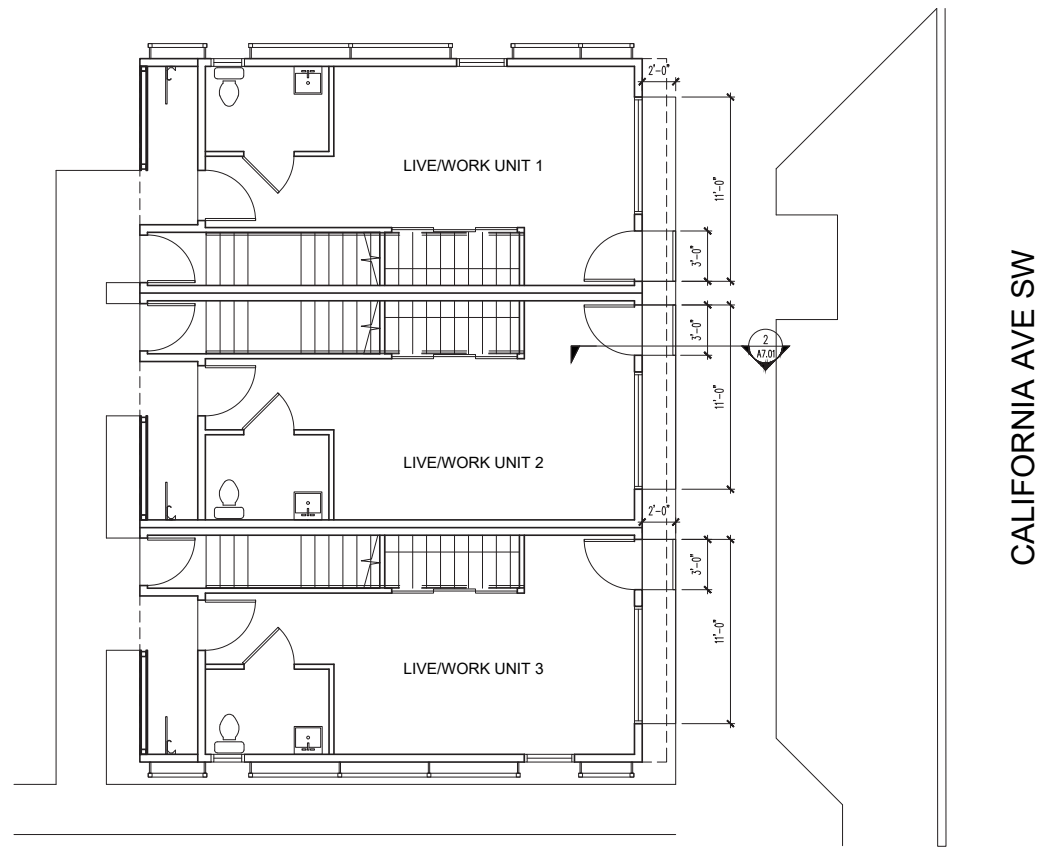


LumenArt - AWL.68
LED Outdoor Wall Sconce
Black
17 Watts
- E**



5m LED Strip Light
White
3.6/ft Watts

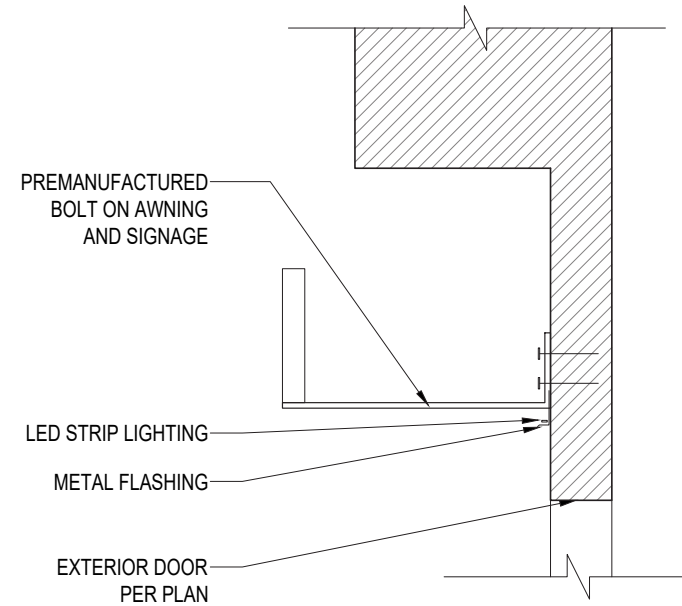
Signage Concept Plan | Level 1



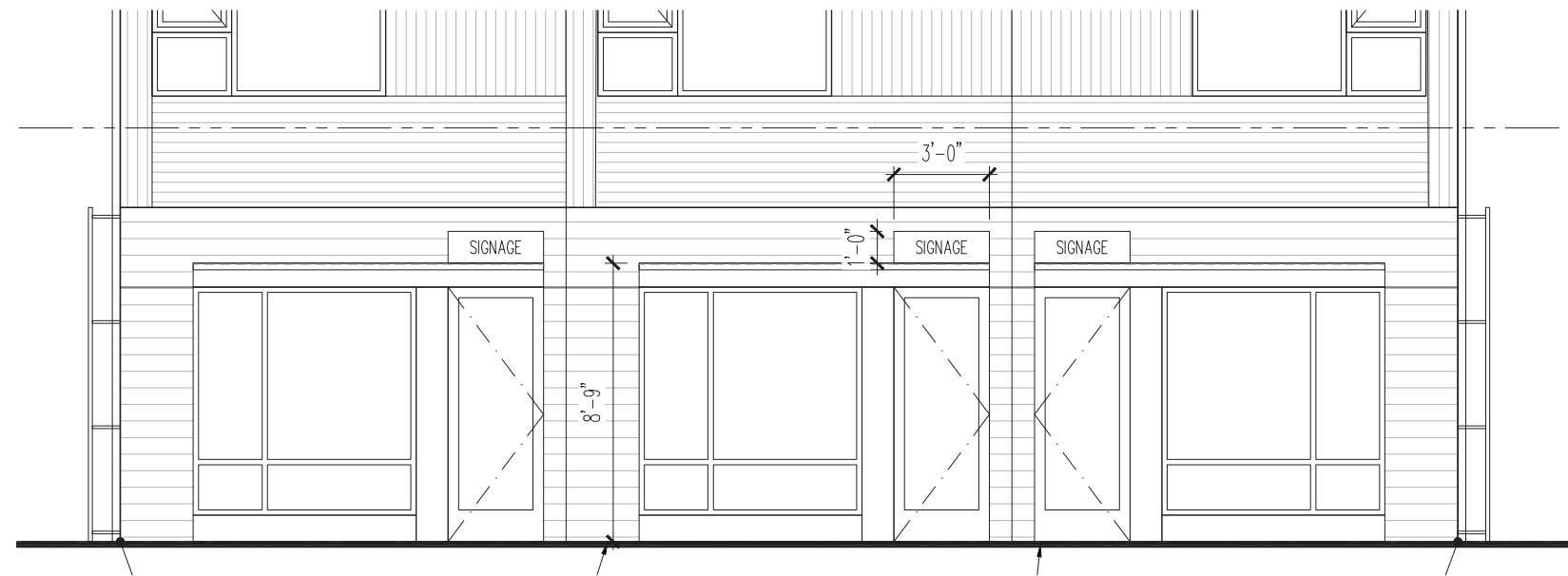
1 LIVE/WORK SIGNAGE - PLAN
SCALE: 3/16"=1'-0"



CALIFORNIA AVE SW

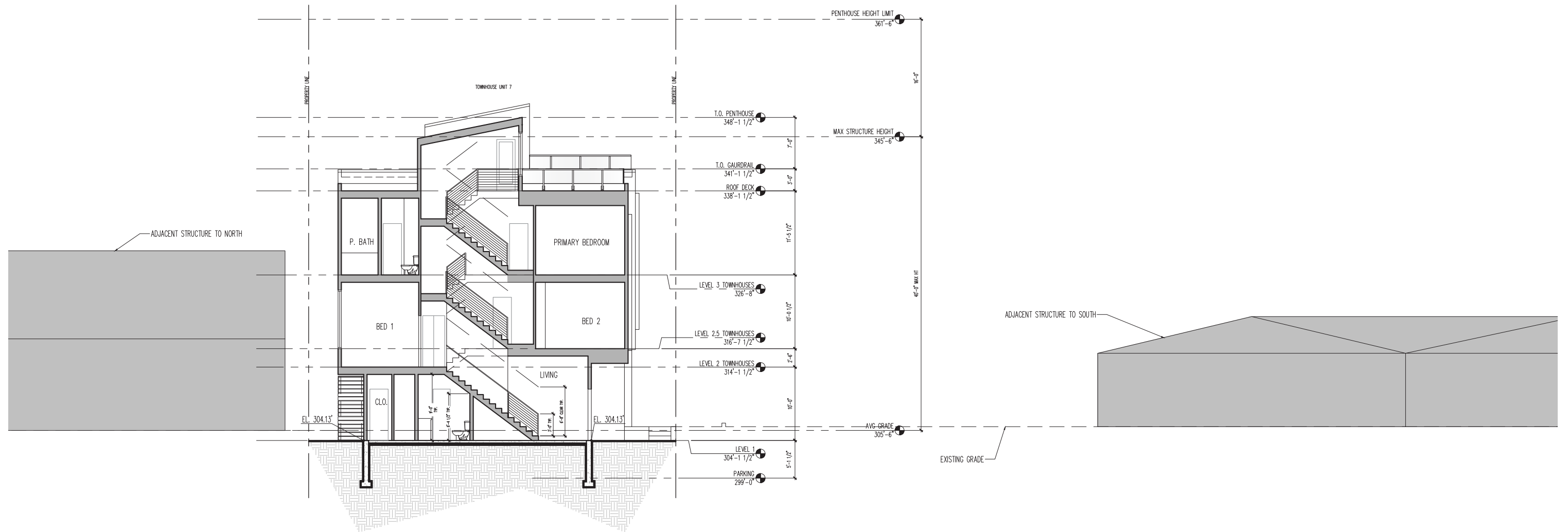


2 LIVE/WORK SIGNAGE - DETAIL
SCALE: 1 1/2"=1'-0"



4 LIVE/WORK SIGNAGE - EAST ELEVATION
SCALE: 3/8"=1'-0"

Building Sections | Section 1



BUILDING SECTION 1

Building Sections | Section 2



BUILDING SECTION 2